

EXECUTIVE SUMMARY

PRESERVATION PERMIT REVIEW

224 W. SPRUCE ST. ALTERATIONS TO GARAGE OPENINGS – SEPT 29, 2017

CASE PLANNER: Emy Scherrer, Historic Preservation Officer

REVIEWED AND APPROVED BY: Laval Means, Planning Section Manager

PUBLIC HEARING: October 5, 2017

AGENDA ITEM: 224 W. Spruce Street – Alterations to openings on the north elevation of the garage

APPLICANT:
Ecogeek, Goop LLC.
224 W. Spruce Street
Missoula, MT 59804
406.690.4863

APPLICANT'S REPRESENTATIVE:
Katherine Foley, Architect, Gavin-Hanks Architects
300 W. Broadway, Suite 4, Missoula, MT 59802

LOCATION OF REQUEST:
224 W. Spruce Street, Missoula, MT 59802
Downtown Missoula Historic District
Legally described as: S22, T13N, R19W, Block 9, Lot(s) 11 - 15, & W 14' of Lot 16
Geocode: 04-2200-22-2-49-01-0000

LEGAL NOTIFICATION: A legal ad appeared in the Missoulian on September 24th, 2017 and October 1st, 2017 and on-site posting occurred 15 days prior to the public hearing.

ZONING: CBD-4

GROWTH POLICY: The 2035 Missoula County Growth Policy

SURROUNDING LAND USE:
Adjacent (North): CBD-4
Adjacent (East): CBD-4
Adjacent (South): CPD-4
Adjacent (West): CPD-4/B2-2

PRESERVATION PERMIT REVIEW

224 W. SPRUCE ST. ALTERATIONS TO GARAGE OPENINGS – SEPT 29, 2017

Ecogeek, Goop LLC.
224 W. Spruce Street
Missoula, MT 59804

STAFF DETERMINATION

APPROVE the application with conditions.

I. RECOMMENDED ACTION

THAT the Historic Preservation Permit (HPP) for **Alterations to the Garage Openings** project be APPROVED with conditions by the Missoula Historic Preservation Commission, subject to the recommended conditions of approval based on the findings of fact in the staff report, and pending the fifteen-day review period per section 20.85.085.

II. CONDITIONS OF APPROVAL

1. The project shall comply with all applicable City of Missoula municipal code and building code requirements.
2. Windows shall be replaced with Pella Architectural Series (or similar), with profiles to match historic/existing windows. Provide samples of infill material, windows and colors to HPC and/or HPO prior to purchasing and installing.
3. Any patching and repair shall match the old in design, color, texture, and other visual qualities and, where possible, material.

III. INTRODUCTION

An application for an Historic Preservation Permit (HPP) was received by the City of Missoula on September 12th, 2017, for the proposed alteration to the north elevation of the garage portion of the historic Marsh & Powell Funeral Home, also known as the Livingston-Maletta and Geraghty Funeral Home. The Marsh & Powell Funeral Home is located at 224 W. Spruce Street, Missoula Montana. Alterations include infilling four existing garage door openings with smooth cementitious panel, wood trim and windows, located at the north elevation, and the installation of four skylights, located on the flat roof, to the garage portion of the building.

Alterations, by ordinance, must be in accordance with *The Secretary of Interior's Standards for Rehabilitation of Historic Properties*. The building located at 224 W. Spruce St. is located within the Missoula Downtown Historic District, and is individually listed in the National Register of Historic Places, and is subject to the Missoula historic preservation ordinance requirements of Title 20 of the Missoula Municipal Code. The site is a primary element within the Historic District, which was individually accepted by the Keeper of the National Register in 1990.

The building currently houses a Missoula-based technology company which produces educational video and media. The applicant requests approval of the HPP in order to modify the inside of the garage portion to better accommodate the growth of their expanding company. This modification would provide space for an additional 12 employees for a company which currently employs over 50 Missoula residents. The proposed alterations aid in adapting the garage into office space, and would be similar in design and materials to the existing character-defining traits.

The applicant's representative has engaged in counsel with the HPO for best practices, and has engaged in counsel with the HPC during a special presentation at the 9/7/17 Historic Preservation Commission meeting. The proposed plan has been established with respect to the historic significance of the facility and in an effort to bring the building back to the original openness of the

space and to minimize any adverse effect.

The proposed work includes (See Appendix A, Plans, and Appendix B, Supplemental Information):

-Installation of four 4'-0" x 4'-0" skylights above the central work area

-Removal of five existing overhead 7'-10"x 8'-3/4" garage doors, patching and repair openings as necessary for new construction

-Infill three of the garage openings. The lower ¾ of each opening will be infilled with smooth cementitious panel, batten siding and wood trim, which will match the existing entrance and painted white. The upper ¼ of the openings will be infilled with two new windows which will match the existing windows with fixed four-over-two lites. Each window will be 3'-9"x2'6" with 4" trim in between, equaling a total width of 7'-10".

-Infill one of the garage openings. This opening will be infilled with double ADA accessible doors 6'-0"x 6'-8", which will match the existing entrance directly to the west of it. Wood trim painted white will surround the entrance and infill the remainder of the opening.

-Interior removal of existing concrete floor and replacement with new concrete slab with 2" rigid insulation underneath. Addition of wood frame walls, interior windows, doors, counter/cabinet space, culminating in a central work area and three smaller offices.

*Note that four of the existing garage door entryways are filled with unoriginal overhead vinyl doors, and one is infilled with panel and wood trim with a central entrance opening and no lites. Original pictures of the north elevation have not been found, but the National Register nomination describes the doors as "double wooden garage doors with recessed wood panels in the bottom two-thirds of the door and six lites in the upper one-third. The doors have exterior, side-mounted black hinges and black door handles."

SITE HISTORY

The building located at 224 W. Spruce Street was constructed between 1929 and 1932 as a funeral home, when the property was owned by Luther and D. H. Powell. The first occupants were Marsh and Powell, Funeral Directors, whom occupied the building through the historic period, followed by the Livingston-Maletta and Geraghty Funeral Directors.

At the time of construction, it represented a new phenomenon in the early 20th century—a building constructed as a funeral home with all the services and facilities needed to prepare the body for the funeral, and to perform the full extent of funeral services. The building has been used as a funeral home for the majority of its existence until 2015, when it was converted to its current use as office space. It was during this conversion that the building received extensive interior alterations. At some point the fenestration material of the garage portion was altered with the installation of vinyl windows and entrances. It stands today as one of the few remaining commercial buildings within the Missoula central business district that was constructed during the Depression.

The Marsh and Powell Funeral Home is a rectangular, two-story, polychromatic brick commercial building with a two-story Neoclassical style pavilion and quoined corners. The building is located on a corner block between Spruce and Woody Streets, which contain a smattering of historic one-story residences, the majority of which have been converted to business use. The main portion of the building has a sheet metal crown cornice over a six-tiered polychrome header and stretcher belt course and a single header belt course. Front upstairs windows have polychrome flat hood detailing with centered keystones and header sills. Windows are vinyl and generally double-hung, six-over-one and three-over-one. A large, metal frame, blank plastic sign is located outside on the ground floor of the south-facing façade.

The first floor of the main portion of the building has three vinyl, three-part "cottage" windows, each composed of a large, fixed pane topped by a pair of fixed, three-lite units. Each window has a flat polychrome hood detail and centered keystone.

The main entryway has a modern panel and glass door and with upper transom and narrow, flanking glass block panels. An eastern side door to the building is accessed by concrete steps with wrought iron railings. Vertical polychrome headers run along the base of the building. The monumental wood, two-story pavilion has a pedimented gable roof with a molded crown cornice with dentilation and horizontal, lapped siding in tympanum. Dentilation is also located at the top of the architrave. The upstairs balcony railing within the pavilion is wrought iron as well. The large Doric order support columns rest on square concrete plinths.

The rear section of the building is also of polychrommatic brick with a flat roof and metal cornice over halved polychrome headers. A raised belt course of header brick over vertical stretchers is located on the west side of the building. A centered entryway is recessed and framed by polychrome quoins. A gable-roofed door-over or hood with side brackets is located above the side entryway. The east side of the rear has a large, porte-cochere consisting of three, square, brick support posts. The porte-cochere shelters two entryways with modern vinyl doors. The rear garage section has five openings, four of which are filled with unoriginal overhead vinyl garage doors, and one is infilled with panel and wood trim with a central entrance opening and no lites. The openings are separated from one another by brick columns, and may have originally housed the funeral hearses.

Conifers are located on the northeast, southeast and west sides of the building and a large parking area is located on the north and east sides of the building.

The building possesses good integrity of setting, design, materials, workmanship and association. It exhibits minimal exterior alterations beyond fenestration material changes. It also possesses generally good integrity of setting, being located in a half block of one-story historic residences, in the heart-of-Missoula neighborhood, and as contributing element of the Missoula Downtown National Historic District.

IV. APPLICABLE ZONING REGULATIONS

Title 20 Zoning Ordinance, Section 20.85.085.H outlines the criteria for review of historic preservation permit applications. Regarding CBD-4 permitted uses, the proposed use is permitted and require no additional discretionary approval.

V. REQUEST FOR HISTORIC PRESERVATION OFFICER/COMMISSION APPROVAL

Except as otherwise approved in section 20.30, the characteristics of an historic resource that qualify it for designation shall be preserved and existing setbacks illustrating historic patterns of development shall be retained. Before issuing an HPP for alterations or new construction, the Historic Preservation Officer shall consider the cumulative effects on the integrity of the city's historic resources resulting from the requested HPP, any other pending HPP applications, and any previously issued HPPs. The Historic Preservation Officer shall also review the HPP application for compliance with the *Secretary of the Interior's Standards for Rehabilitation* and/or any applicable design guidelines with the following criteria:

REVIEW CRITERIA

The building located at 224 W. Spruce St. is reviewed pursuant to the criteria for review listed in Title 20 Zoning Ordinance, Section 20.85.085.H, and the *Secretary of the Interior's Standards for Rehabilitation*. (Standard in *italics*, Staff Findings and Staff Conclusions follows).

The following demonstrates compliance with the Design Guidelines set forth in Sections 20.85.085H, and the *Secretary of the Interior's Standards for Rehabilitation*.

SECTION 20.85.085H:

H-a.) Requirement: *"The characteristics of an historic resource that qualify it for designation shall be preserved and existing setbacks illustrating historic patterns of development shall be retained."*

FINDINGS OF FACT: The applicant has worked with the HPO and members of the HPC in establishing historically

sensitive design solutions which harken to the original design at the time when the building was nominated. The proposed alterations would have minimal site disturbance, and would continue to preserve the existing character and patterns of development.

STAFF CONCLUSION: Meets the criterion.

H-b.) *Before issuing an HPP for alterations or new construction, the Historic Preservation Commission shall consider the cumulative effects on the integrity of the city's historic resources resulting from the requested HPP, any other pending HPP applications, and any previously issued HPPs.*

FINDINGS OF FACT: The proposed alterations fit within the purpose of the rehabilitated use and complements the overall site's designation of architectural significance. No negative effects on the overall integrity of the building's historic resources will result from issuance of this HPP for the alteration of the garage portion's openings.

STAFF CONCLUSION: Meets the criterion.

H1.) *Alterations shall be compatible with the relevant characteristics or character defining features that qualify the Historic resource for designation and shall not diminish, eliminate, or adversely affect the historic character of the Historic resource. Consideration shall include, but not be limited to, elements of: Size, Scale, Lot coverage, Massing, Proportion, Architectural style, Orientation, Surface textures and patterns, Details and embellishments, Relationship of these elements to one another.*

Size/ Scale: The size of the proposed alteration does not change the existing fenestration of the north elevation, nor does the size of the skylights detract from the building's footprint and scale.

Lot Coverage: The proposed alteration will not increase nor decrease the lot coverage.

Massing/ Proportion: The massing of the proposed alterations were designed to be compatible with the character-defining features and aesthetically reflect the original materials used for the garage doors when the building was nominated.

Architectural Style: The architectural style and integrity of the existing building will not be altered from its current and historic style and state. The proposed alterations utilize distinctive elements to differentiate the old from the new, while being compatible with the existing historic features. These alterations serve to improve the overall historicity of the site and are sensitive to its contemporary use.

Orientation: The orientation of the building will not be altered. The proposed alterations have been designed to fit within the existing structure and footprint, and will not alter the orientation of the original south facing facade. The proposed alteration retains 224 W. Spruce St. as the primary element on the site.

Surface Textures and Patterns/ Details: The existing surface textures and patterns outside the garage openings will not be effected. The updated openings will reflect similarities to the original patterns and details to when the building was first constructed.

Details and Embellishments: The proposed details and embellishments are sensitive to the existing character defining traits, and cohesively tie into existing updates of the north elevation. The infill utilizes wood trim and similar windows to the existing. Embellishments have been designed to match the original, while distinguishable as new elements.

Relation of these elements to one another: The proposed alterations do not alter existing architectural features and have been designed to tie into other changes over time to create a cohesive feel and aesthetic.

FINDINGS OF FACT: The inter-relationship of *Size, Scale, Lot Coverage, Massing, Proportion, Architectural Style, Orientation, Surface Textures and Patterns, Details and Embellishments* in the design proposal, serves to restrict adverse impact on the historic character of 224 W. Spruce St. in general, and to improve the overall integrity of the

building as much as possible, while differentiating the old from the new.

STAFF CONCLUSION: Meets the criterion.

H2.) *New construction in historic overlay districts is not required to conform to specific architectural styles. Design of new construction shall be compatible with the character of historic resources in the immediate area, but shall distinguish itself from historic resources and not create a false sense of history.*

FINDINGS OF FACT: The proposed alteration utilizes distinctive elements to distinguish the old from the new, while also replicating certain features of the original historic garage doors. It does this through the solid infill of the openings and material used, as opposed to the installation of reproduced garage doors.

STAFF CONCLUSION: Meets the criterion.

H3.) *Alternative materials may be substituted for original materials when they have the same dimensions and form as original materials.*

FINDINGS OF FACT: Alternative materials include smooth cementitious panels, four-over-two windows, and new entrance doors.

STAFF CONCLUSION: Meets the criterion as long as the windows are sensitive to the historic character-defining features. The current fenestration of the main building and garage portion are filled with vinyl of varying sizes and styles. (See Condition 2).

H4.) *Photovoltaic and solar hot water equipment are permitted and are not subject to this ordinance.*

FINDINGS OF FACT: No photovoltaic and solar hot water equipment are proposed.

STAFF CONCLUSION: N/A

FINDINGS AND CONCLUSIONS:

Missoula Zoning Ordinance Section 20.85.085H

The historical architectural features that distinguish 224 W. Spruce St. will not be effected. The proposed alterations serve to improve previous alterations which were insensitive to the historic features, yet will remain distinct and differentiated to preserve the overall historicity of the site. The proposed alterations will not diminish, eliminate, or adversely affect the historic character and integrity of the original building, and will instead serve to improve it.

STAFF CONCLUSION: Project SUBSTANTIALLY MEETS CRITERIA established in Section 20.85.085H.

THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION OF HISTORIC PROPERTIES:

The Secretary of the Interior's Standards for Rehabilitation are ten basic principles created to help preserve the distinctive character of a historic building and its site.

The Standards (36 CFR PART 67) apply to historic buildings of all periods, styles, types, materials, and sizes, and to both the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent, or related new construction.

The Standards are applied to projects in a reasonable manner, taking into consideration economic and technical feasibility.

Standard #1) *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

FINDINGS OF FACT: Between 2015 and 2016, the building underwent rehabilitation for use as office space for a local technology company. The proposed alterations will be used for this adapted purpose and requires minimal change to character-defining features to accommodate the adapted use.

STAFF CONCLUSION: Meets the standard.

Standard #2) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

FINDINGS OF FACT: Previous non-historic materials, such as vinyl overhanging garage doors, will be removed and replaced with more historically sensitive and compatible materials. Outside of this alteration, no exterior historic materials will be altered or removed. The interior concrete floor will be replaced with insulated 2" slab. The overall character will not be adversely effected.

STAFF CONCLUSION: Meets the standard.

Standard #3) *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

FINDINGS OF FACT: Conjectural features of false history will not be added. The new infill was designed in regards to details described in the National Register Nomination, but are differentiated through material and use as not to project a false sense of historical development.

STAFF CONCLUSION: Generally concur; the addition of skylights and alteration of the fourth garage opening and replacement with double entrance doors serves to increase accessibility, enhance conditions, and serve the contemporary rehabilitated function. The skylights will not be visible to the public as they will be added to a flat roof, and will be clearly distinguishable as a later addition in an effort to dissuade false interpretation. Meets the standard.

Standard #4) *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

FINDINGS OF FACT: The proposed project will be an alteration for the rehabilitated use which has been in existence for two years. The previous use was as a funeral home since its construction.

STAFF CONCLUSION: The project will not adversely affect acquired significance. Meets the standard.

Standard #5) *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

FINDINGS OF FACT: Distinctive features and finishes will be unaffected, and special care and awareness of historic significance will be honored by the contractors.

STAFF CONCLUSION: The applicant has stated their awareness of the building's historic significance and character-defining features. Meets the standard.

Standard #6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

FINDINGS OF FACT: The existing garage openings are currently filled with modern and incompatible vinyl overhead doors. During the removal process, the openings will be patched and repaired as necessary for new construction.

STAFF CONCLUSION: (See Condition 3). Meets the standard.

Standard #7) *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

FINDINGS OF FACT: No chemical or physical treatments are currently planned for the project.

STAFF CONCLUSION: Meets the standard.

Standard #8) *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

FINDINGS OF FACT: The project does not require digging beyond replacing the existing concrete floor.

STAFF CONCLUSION: Meets the standard.

Standard #9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

FINDINGS OF FACT: The proposed alterations fit within the context of the existing character-defining features, yet remain distinct to preserve the historic integrity of the building in general. The alteration of the garage door openings will not obstruct the setting, feel, view-scape, or fenestration. The addition of skylights to the flat roof will not be visible from pedestrians or within the view-scape.

STAFF CONCLUSION: Massing, size, scale and architectural features are planned as to restrict alteration of the historic character of the original building. Meets the standard.

Standard #10) *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

FINDINGS OF FACT: The proposed plan is designed with adaptability to change of use or removal in mind. If removed in the future, the existing garage openings and surrounding environment could be restored.

STAFF CONCLUSION: Generally concur; the addition of skylights may be more challenging to reverse, but could ultimately be done so. Meets the standard.

Cumulative Effect:

INTENT: Alteration to a rehabilitated building in accordance with the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties.

SCOPE OF WORK: The adapted reuse of the garage portion of the building located at 224 W. Spruce St, consisting of the installation of four skylights above the central work area, removal of existing five unoriginal overhead 7'-10"x 8'-3/4" garage doors, and infill with smooth cementitious panel and batten siding, wood trim, windows, and one ADA accessible entrance. Interior alterations include the replacement of the concrete floor and installation of office compartments.

INTENDED USE: Office space.

FINDINGS OF FACT: There are no cumulative adverse effects on historic preservation permit sites with this proposal.

STAFF CONCLUSION: There are no other HPP sites in the vicinity that would be adversely effected by this proposal, and there are other historic sites in the vicinity that would not be adversely effected by this proposal. Project SUBSTANTIALLY MEETS the Secretary of the Interior's Standards for Rehabilitation.

VI. PUBLIC COMMENT

LINDA K. MCCARTHY, EXECUTIVE DIRECTOR, DOWNTOWN MISSOULA PARTNERSHIP:

In review of the application, we appreciate the efforts to retain the historical look and feel of the building exterior, while modifying the inside of the building to better accommodate the growth of an expanding technology company that employs nearly 50 Missoula residents. We think this project fits with the goals of the downtown master plan, and we are proud to see this historical building in active use. On behalf of the downtown Missoula partnership, we support this proposed renovation.

218 East Main, Suite C
Missoula, MT 59802
Phone: 406.543.4238
linda@missouladowntown.com

LEAH MORROW, HEART OF MISSOULA RESIDENT:

Looks like they are taking steps to respect the historic nature of the property. Ok by me!

selvedgemissoula@gmail.com

VII. STAFF CONCLUSIONS AND RECOMMENDATIONS

CONCLUSION:

The historical architectural features that distinguish 224 W. Spruce St will not be effected. The proposed alterations fit within the context of the existing site, yet remain distinct to preserve the integrity of the building. The alterations are similar in scale to the existing openings, and utilize sensitive building materials and design in order to define the distinct historic character of the primary building. The infill of the updated openings provide a point of departure from the original use as a garage, and reference the rehabilitated use and contemporary need as working office space. There are no other HPP sites in the vicinity that would be adversely affected by this proposal, and there are other historic sites in the vicinity, but would not be adversely affected by this proposal. The proposed project clearly and substantially meets the design review criteria set forth in Section V of this report and will not diminish, eliminate, or adversely affect the historic character and integrity of 224 W. Spruce St. or the Downtown Historic District as a whole.

RECOMMENDED MOTION:

THAT the alterations to the garage portion of the building located at 224 W. Spruce St. be APPROVED with conditions.

CONDITIONS OF APPROVAL:

1. The project shall comply with all applicable City of Missoula municipal code and building code requirements.
2. Windows shall be replaced with Pella Architectural Series (or similar), with profiles to match historic/existing windows. Provide samples of infill material, windows and colors to HPC and/or HPO prior to purchasing and installing.
3. Any patching and repair shall match the old in design, color, texture, and other visual qualities and, where possible, material.

VIII. ATTACHEMENTS

- A- HISTORIC PRESERVATION PERMIT APPLICATION**
- B- SUPPLEMENTAL INFORMATION PROVIDED BY APPLICANT**
- C- THE MARSH & POWELL FUNERAL HOME NATIONAL REGISTER NOMINATION**

APPENDIX A
HISTORIC PRESERVATION PERMIT APPLICATION

M I S S O U L A

HISTORIC PRESERVATION COMMISSION

Date: 09-11-2017

Name: Goop, LLC

Address: 224 W. Spruce Street, Missoula, MT 59802

Phone: 406-690-4863

Agent: Gavin-Hanks Architects

Address: 300 W. Broadway, Suite 4, Missoula, MT 59802

Phone: 406-396-4485

Request Type: _____

Site Address 224 W. Spruce Street, Missoula, MT 59802

The following items must be submitted as part of the application:

Legal Description:

Lot(s): 11-15, W14'; Block(s): 9; Subdivision: CP Higgins

Township: 13N; Range: 19W; Section: 22

COS#: _____; Metes and Bounds Description (Attached Typed Description)

Zoning: CBD-4

PACKET (One prototype to be certified, once certified make **15 Copies**)

	Completeness
a. Application	
b. Cover Letter	
c. Site Plan/Landscaping Plan	
d. Elevation Drawings	
e. Topography Map	
f. Photographs	
g. Other	

Building and Property Frontage:

Street: _____; Building Frontage: _____; Property Frontage: _____

Please note: All materials shall be collated, bound (staple or other binding method) and folded to 8 1/2x11 inches

Missoula Historic Preservation Commission

Application Type

Historic Preservation Permit

Public Meeting:

(Monthly)

1st Thursday

Application

Deadline:

30 Days Prior

APPLICATION FEE:\$0.00

I hereby attest that the information on this application form is accurate and complete.

Applicant Signature



09/11/2017

; Date:

I William Green II, owner of said property authorize to act as my agent in this application.

Owner's Signature:



Applicant's Responsibility:

An Historic Preservation Commission (HPC) application must be made to the Historic Preservation Officer by the property owner, business establishment owner or a designated agent. The application and all required supporting documentation must be received and approved by the Preservation Officer at **thirty (30) days** prior to the regular scheduled public hearing, which is held on the first Thursday of each month in the City Council Chambers at 7:00 p.m., unless otherwise scheduled. The owner of the property is solely responsible for supplying to the Missoula Historic Preservation Commission, in care of the Missoula Historic Preservation Officer, all information and documents necessary to evaluate the project. If sufficient information and documentation is not supplied by the owner for consideration to make an informed decision, the application will be denied. **The applicant or his agent must be present at the public meeting. Failure to appear at the public meeting is grounds for denial.**

Historic Preservation Officer Responsibility:

The Historic Preservation Officer shall inspect all submitted material for compliance and submit a report to the HPC and the applicant prior to the Meeting. Once the Commission has approved a motion, the Preservation Officer shall send written notification of the motion to the applicant. The Preservation Officer shall keep, on file, a record of the case.

Missoula Historic Preservation Commission Responsibility:

The Missoula City Council designated the Missoula Historic Preservation Commission as its local review board and directed said board to establish an application and review process to certify eligible properties as specified in 20.30 and 20.85.085 of the Missoula Municipal code (City Zoning). **Said process must include, but is not limited to, the design review criteria based on the Secretary of Interior's Standards for Rehabilitation or other standards approved by the City Council .**



GAVIN.hanks

Architectural Studio, PLLC AIA

DATE: 09.11.17

RE: Historic Preservation Permit Application – 224 W. Spruce Street, Missoula, MT 59802

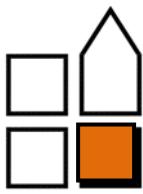
Overview:

The building at 224 W. Spruce was built around 1930 and historically known as the Marsh and Powell Funeral Home, and more recently as the Livingston-Maletta and Geraghty Funeral Home. This building is currently owned by Ecogeek, LLC, who has renovated the interior to be used as office space and video recording.

The owner is currently planning to renovate the interior of the existing garage space at the north end of the building facing the alley. Since they would be making this garage into office work spaces, they are proposing an infill of the existing garage doors by building walls, installing windows to match the existing, and adding skylights. They realize the importance of keeping the exterior as close to the original as possible by matching the other trim and windows of the existing building.

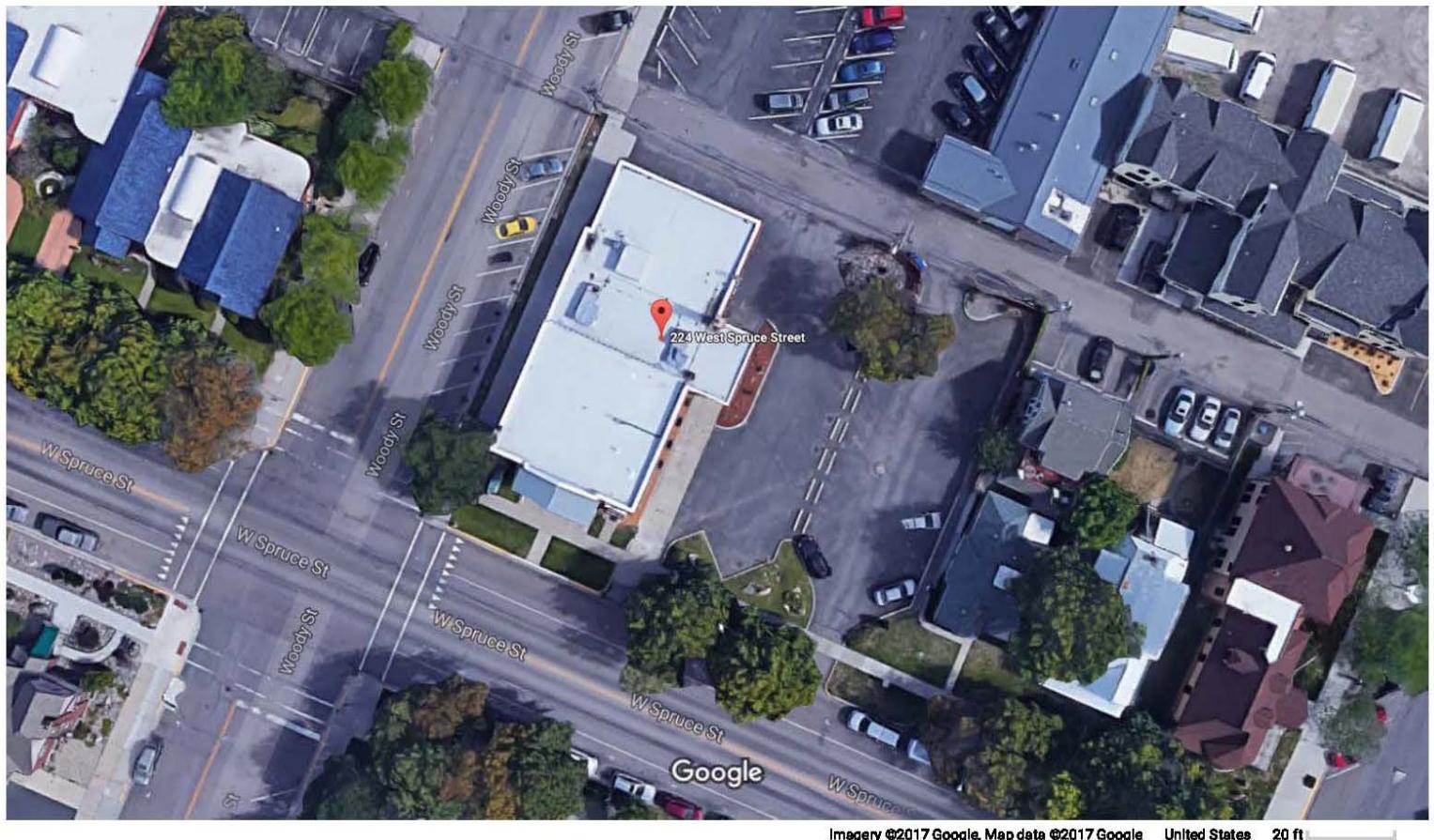
The existing garage doors are not original to the building and by infilling these doors we feel that it would be getting closer to what the original doors might have looked like. We could not find any pictures of the original doors, but the National Register describes the doors as "double wooden garage doors with recessed wood panels in the bottom two-thirds of the door and six lights in the upper one-third."

In our proposed design, we are trying to get back to the original door look that is described above. As you will see in the attached renderings we have tried to do just that. The proposed windows will bring the building back to the original openness of the space. The proposed alterations will not alter the footprint of the building, nor will they significantly change the looks or the historic characteristics of the existing building.

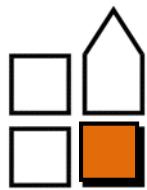


Site Map/Plan – Existing to Remain as is.

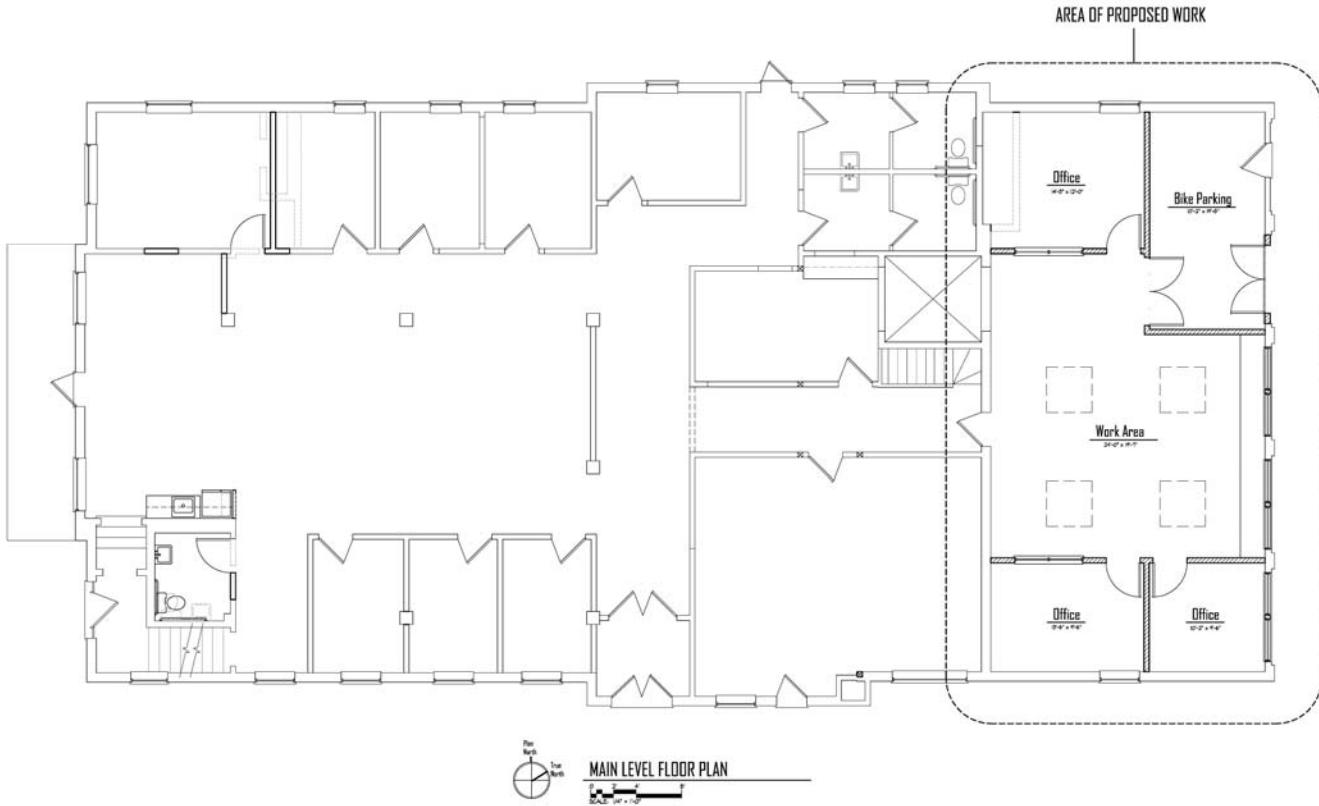
Google Maps 224 W Spruce St



Imagery ©2017 Google, Map data ©2017 Google United States 20 ft



Proposed Plan - Overall Main Floor Plan

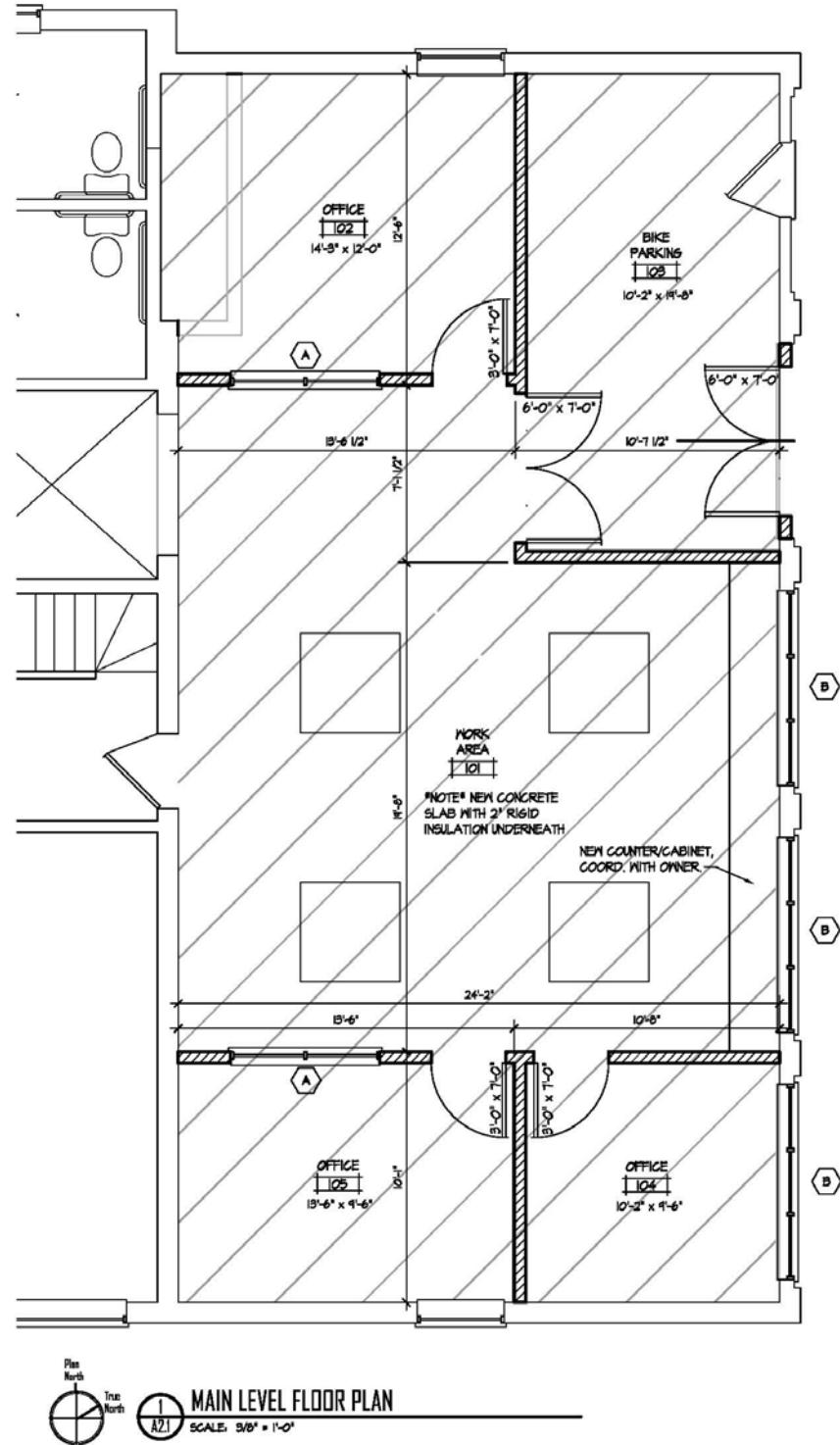


Ecogeek, LCC
224 West Spruce Street
Missoula, MT 59802





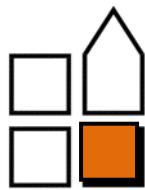
Proposed Plan – Area of work - Main Floor Plan



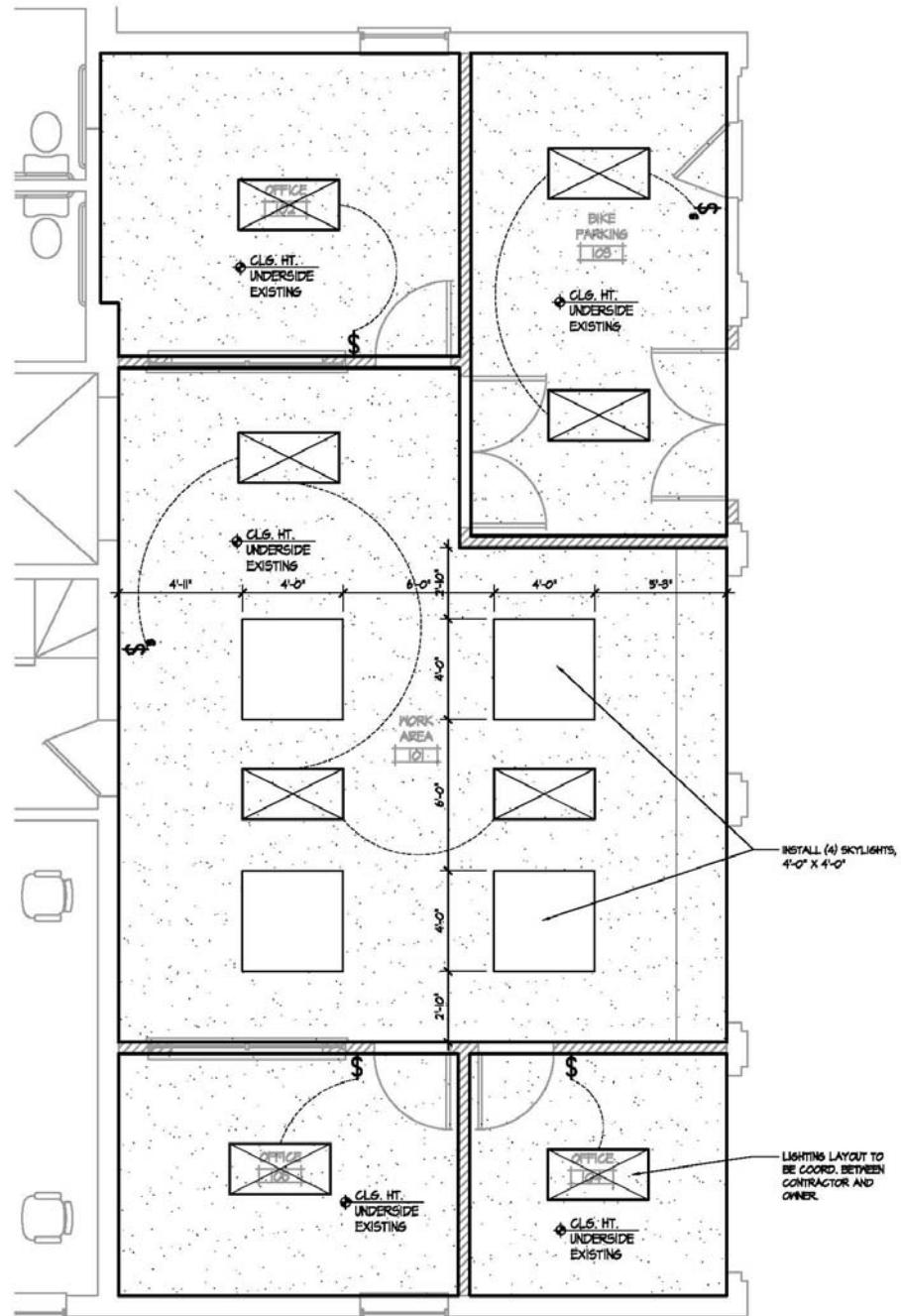
300 West Broadway, Suite 4 • Missoula, MT 59802

Ph. 406-543-1477 • Fax 406-543-1486

www.gavin-hanks.com



Proposed Plan – Area of work – Reflected Ceiling Plan



1 REFLECTED CEILING PLAN

SCALE: 3/0" = 1'-0"



Existing Elevations



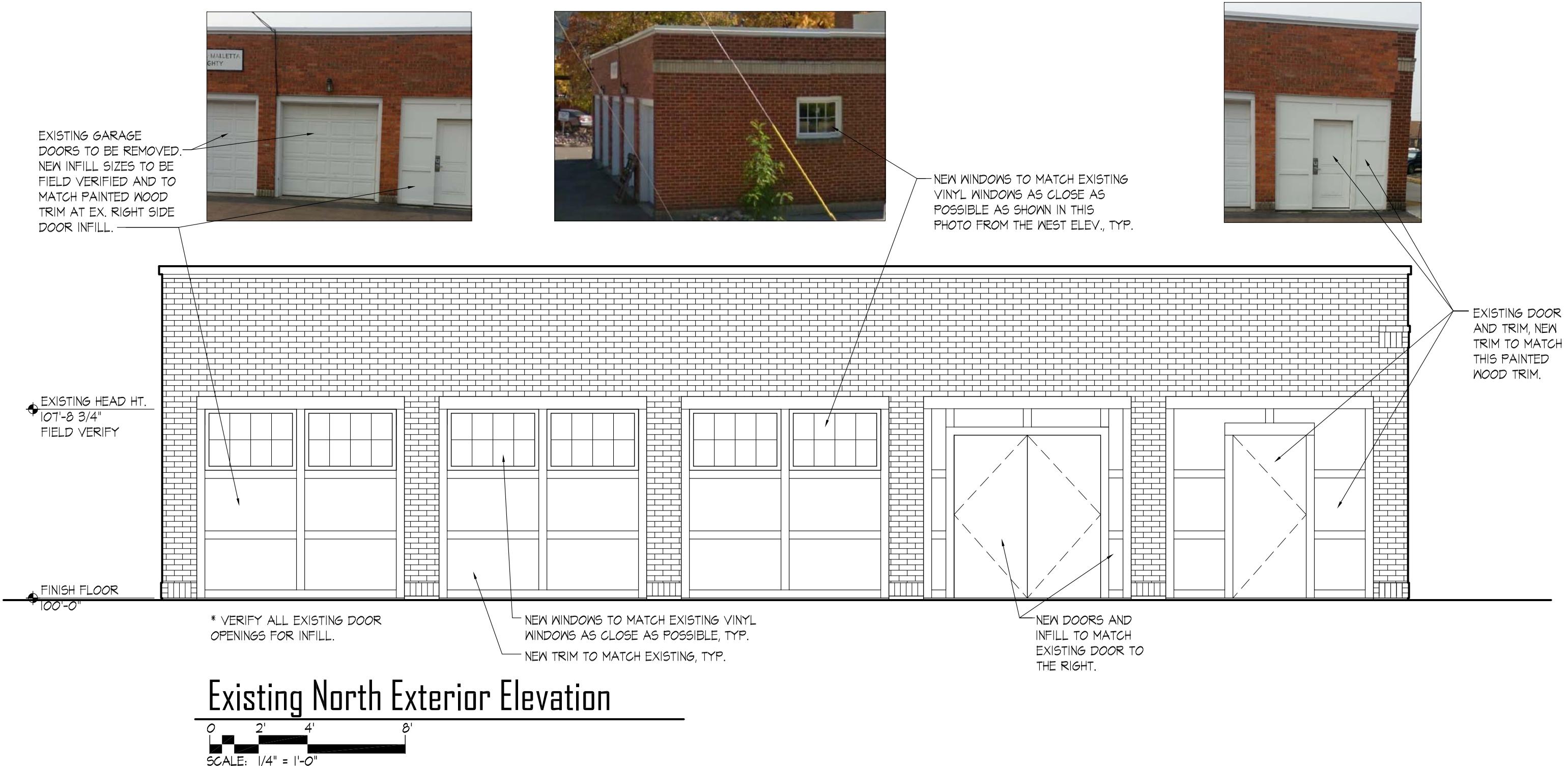
South Elevation

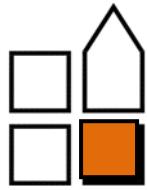


West Elevation



North Elevation





Proposed Elevation Renderings



View of Proposed North Elevation



View of Proposed Northwest Corner

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APPENDIX B

SUPPLEMENTAL INFORMATION PROVIDED BY APPLICANT

General Notes & Conditions

- All work to be performed under this contract shall include the furnishing of all labor, materials, equipment, and supervision to perform the work and construction for the project as indicated in these documents.
- The contractor shall be responsible to provide any temporary buildings, electrical power, lighting, telephone service, water service, heat and other associated utilities required for staging and/or construction.
- All materials, workmanship and construction shall conform to the applicable requirements of the 2009 International Building Code.
- These documents represent the desired result of construction. The methods of such construction and the associated risks involved shall be the sole responsibility of the contractor.
- The contractor shall maintain the structural integrity of the building during all stages of construction.

- Prior to beginning any work, the contractor shall verify that all required permits and/or approvals have been obtained. No construction and/or fabrication of any item shall begin until the Contractor has received all plans and other documentation from all of the permitting/regulatory agencies. Failure to follow this procedure shall cause the contractor to assume full responsibility for any subsequent modification of work as mandated by such regulatory authority.
- The contractor shall verify all sizes, dimensions and elevations prior to proceeding with any work. Any discrepancies found shall be reported to the architect prior to proceeding with any affected work.

- The contractor shall follow sizes as indicated in the construction documents and shall follow detail drawings in preference to general drawings. Do not scale the drawings.
- Where it is obvious that a drawing illustrates only a part of a given work or of a number of items, the remainder shall be deemed repetitive and so constructed.

- Any proposed substitutions shall be approved by the architect/owner prior to commencing with the pertinent work.
- Architectural and structural drawings shall be used in conjunction with mechanical, plumbing, and electrical drawings, specifications and related documents.

- The general contractor shall be responsible for all coordination of other trades, including but not limited to mechanical, electrical, plumbing and structural components as well as those items supplied by the owner.
- Unless noted otherwise, all dimensions on the plans are to the face of framing members or studs and to the center of columns.

- Any omissions or conflicts between various elements within these documents or specifications shall be brought to the attention of the architect before proceeding with any affected work.
- The use of these documents shall be restricted to the original project site for which they were prepared. Publication thereof is expressly limited to such use. Any publication, reuse or reproduction by any method in whole or in part is prohibited. Ownership and title to these documents shall remain the property of Gavin-Hanks architectural studio, PLLC. Visual contact with these plans shall constitute prima facie evidence of the acceptance of these restrictions.

- Contractor shall verify all dimensions and job site conditions before commencing work and shall report any discrepancies to the engineer.
- Use written dimensions. Do not use scaled dimensions. Where no dimension is provided, consult the engineer for clarification before proceeding with the work.

- The design, adequacy and safety of erection bracing, shoring, temporary supports, etc. is the sole responsibility of the contractor and has not been considered by the engineer. The contractor is responsible for the safety of the structure prior to the completion of all shear walls, roof and floor diaphragms and finish materials.

DESIGN CRITERIA:

- Code: International Building Code, 2006 Edition (IBC).
- Vertical Live Loads:
 - Roof - 45 PSF (Reducible for Slope).
 - Floor - 100 PSF @ Assembly Areas, 60 PSF @ Offices.
 - Lateral Loads:
 - Wind - 10 MPH. Exp. C.
 - Sismic - Zone 3, I=1.0
 - Allowable Soil Bearing - 2000 PSF (Assumed).

Special Inspections

- The contractor, on behalf of the building owner, shall coordinate all special inspections as required by code. Special inspections shall be performed by a qualified firm or engineer and results of such inspections shall be forwarded to the building official for review.
- In accordance with IBC 1701.6.2 some inspections may be made on a periodic basis and satisfy the requirements of continuous inspection.

Duties and Responsibilities of the Special Inspector:

- A - The special inspector shall observe the work assigned for conformance with the approved design drawings and specifications.
- B - The special inspector shall furnish inspection reports to the building official and to the engineer or architect of record. All discrepancies shall be brought to the immediate attention of the contractor for correction, then, if uncorrected, to the engineer or architect of record and the building official.

C - Upon completion of the designed work, the special inspector shall complete and sign a final report certifying that to the best of the inspector's knowledge, the work is in conformance with the approved plans and specifications, and the applicable workmanship provisions of the code.

Concrete

- Concrete shall be 3000 p.s.i. at 28 days and 5 1/2 sacks per yard mixture with not more than 6 1/2 gallons of water per sack. Maximum slump shall be 4" for walls, columns and beams; 3" for slabs and piers. Verify w/I.R.C.
- Freshly placed concrete shall be protected from premature drying or excessive temp. and shall dry at a relatively constant temperature for a period of time necessary for hydration of cement and proper hardening.
- When concrete work is exposed to freezing and thawing, use entrained air of 3 1/2% to 4%. See section 3.4.1 of ACI 301.
- Interior slabs to be poured monolithically in areas not to exceed 600 s.f. without a pour stop or control joint.

Carpentry / Wood

- Framing lumber shall comply with the 1997 edition of the National Design Specification. All sawn lumber shall be stamped with the grade mark of a certified lumber grading agency. Moisture content shall not exceed 14%. All sawn lumber shall be Douglas Fir-Larch uncoated.
- Sawn Lumber:
 - Smaller dimension <4x nominal: no. 2 & better
 - Smaller dimension >4x nominal: no. 1 & better
- Glu-Lams: Continuous or cantilevered members - 24F-V4. Simple span members - 24F-V4.
- Sheathing: APA rated sheathing with span rating as called out on these drawings.
- Walls: 1/2" - 24/0, OSB - Nail: 8d @ 6" o.c. - edges
8d @ 12" o.c. - field
- Roof: 5/8" - 32/16, OSB - Nail: 8d @ 6" o.c. - edges
8d @ 12" o.c. - field
- Floor: 3/4" - 48/24, T&G, OSB - Glue & Nail: 10d @ 6" o.c. - edges
10d @ 10" o.c. - field

- Provide blocking at panel edges as designated on these drawings.
- Other APA rated structural panels (i.e. waterboard and oriented strand board) conforming to NER - 108 and product standard, and with the same exposure durability classification, nominal thickness and span/index ratio may be substituted for plywood, with approval in writing by the architect during the bidding process.
- Framing Anchors: "Simpson" or approved equal. Install as per manufacturer's recommendations.

- For nailing not shown on these drawings, use UBC nailing schedule, Table 23-11-B1. Structural members shall not be cut for pipes, ducts, etc., unless specifically noted, detailed or approved in writing by the engineer.
- Wood stud walls shall be 2x6 at 16" o.c. unless otherwise noted on plans. Plate anchor bolts shall be 5/8" diameter placed not to exceed 4'-0" o.c. unless otherwise noted. Anchor bolts shall be placed at all jamb, corners, intersections, and wall ends. All bottom plates shall have a minimum of 2 anchor bolts. All bottom plates or sills on concrete slabs, and on concrete or masonry foundations, shall be pressure treated wood stamped by an approved agency.

- All Warped, twisted, crappy, crumbly, and generally defective framing members shall be replaced.
- Double joist beneath parallel bearing walls.
- Provide solid blocking between joist at bearing walls and cross-bridging at 8'-0" o.c. max.

- All anchor bolts shall be located within 12" from ends of each plate section at interior bearing walls, interior bearing wall lines and at all exterior walls. Plate washers of 2" x 2" x 3/16" thick shall be used at each bolt.

- All joists to have a minimum of 2" bearing at all supports. Lapping joists shall have 6" laps centered over interior supports.

- All plywood sheathing, decking and flooring to be C-D/INT-APA with exterior glue.

- Lay plywood sheathing in full sheets whenever possible.

- Lay roof sheathing with face of grain of plywood perpendicular to supports with end joints staggered in adjacent runs and nailed with 8d @ 6" on center at edges and 12" on center at intermediate supports.

- Where shear wall construction is indicated, provide sheathing to the grade and thickness indicated on drawings.

- The roof truss supplier shall be responsible for structural design and detail of the trusses to fit the building dimensions and details as shown in the drawings.

Miscellaneous

- Provide minimum R-21 insulation at walls and R-44 at ceilings. All windows shall be double glazed and have 35 min. U-Factor per 2004 IECC.
- Guard rails shall be not less than 42" high. Hand rails and hand rails shall have intermediate rails such that an object 4" in diameter cannot pass through.
- Smoke detectors shall be installed and connected to the residence power service (110V).
- Supply concrete splash blocks at all downspouts.

THE CONTRACTOR SHALL BE COGNIZANT THAT THIS IS A REMODEL PROJECT AND AS SUCH CERTAIN CONDITIONS CANNOT BE FULLY SHOWN OR EXPLAINED WITHOUT FIELD OBSERVATION AND VERIFICATION. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE EXISTING CONDITIONS IN EVERY DETAIL AS THEY PERTAIN TO THE PROJECT, AND SHALL MAKE ALLOWANCES AS NECESSARY FOR ANY CONDITIONS THAT WILL AFFECT THE WORK AS INDICATED IN THESE DOCUMENTS.

Ecogeek, LLC Tenant Improvement

224 West Spruce Street

Missoula, Montana 59802

Project Information

LEGAL DESCRIPTION & ADDRESS:

224 W SPRUCE ST. MISSOULA MT, 59802-4202
GEOCODE 04220022249010000
CP HIGGINS, S22, T13 N, R19 W, BLOCK 9, LOT 11 - 15, & W14' OF LOT 16

PREVIOUS USE OF TI AREA:

GARAGE

PROPOSED USE OF TI AREA:

OFFICE

BUILDING CODE INFORMATION

GOVERNING CODE:

2012 IBC

OCCUPANCY:

B - Business

OCUPANT LOAD

EXISTING BASEMENT OCCUPANTS 28 Total Occupants

EXISTING MAIN FLOOR OFFICE AREA (100 GROSS) 39 Occupants

NEW MAIN FLOOR OFFICE AREA (100 GROSS) 120 Sq. Ft. / 100 12 Occupants

TOTAL MAIN FLOOR OCCUPANTS 51 Total Occupants

EXISTING UPPER FLOOR OCCUPANTS 8 Total Occupants

TOTAL BUILDING OCCUPANTS 81 Total Occupants

APPLICABLE CODES

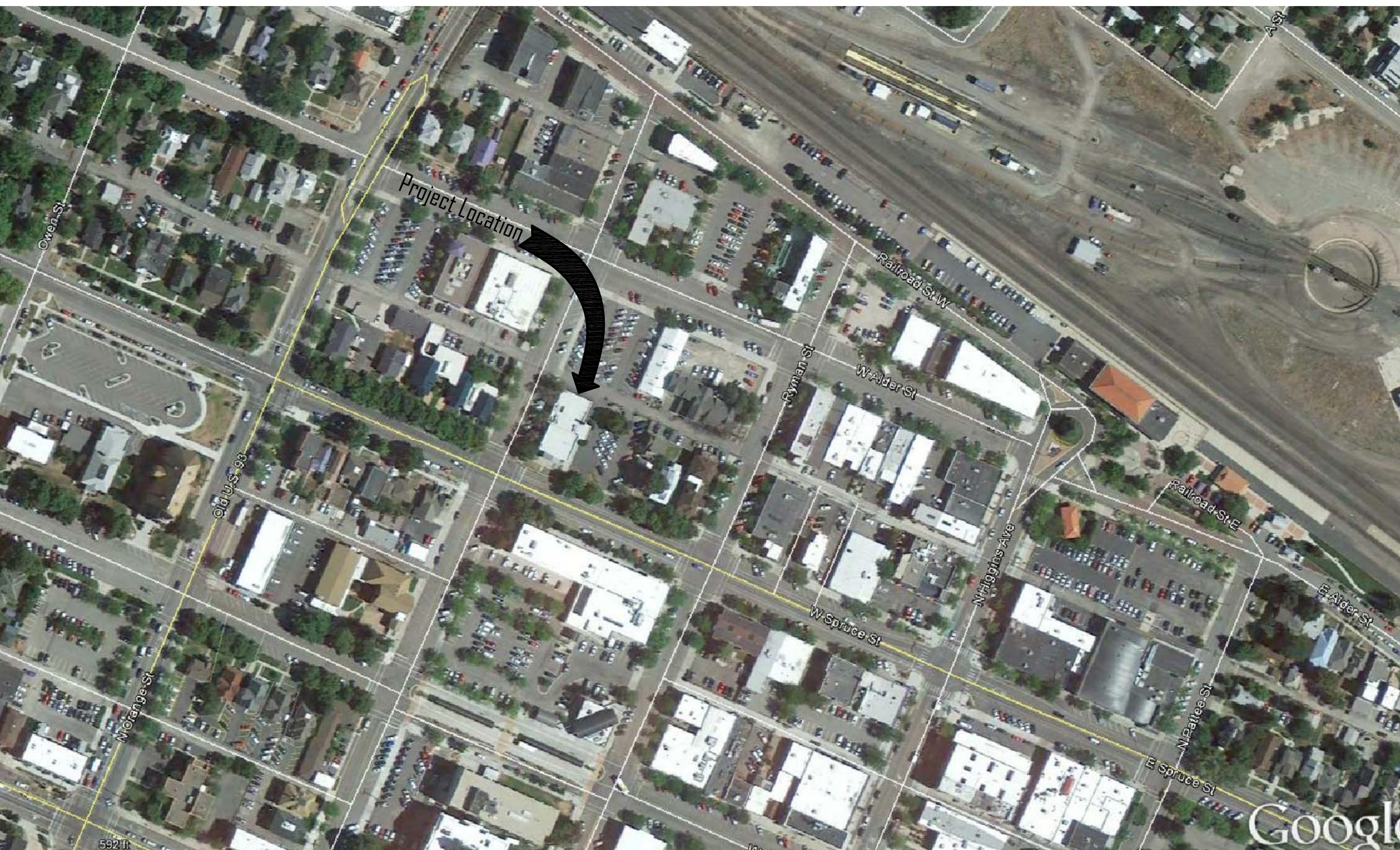
All work to be performed under this contract shall conform to the currently enforced edition or issue of all applicable codes, regulations & ordinances including but not limited to:

2012 INTERNATIONAL BUILDING CODE (IBC)
NATIONAL ELECTRICAL CODE
UNIFORM MECHANICAL CODE
UNIFORM ELECTRICAL CODE
ICC/ANSI A111 - 2008 & ADA
IECC MODEL ENERGY CODE
MISSOULA TITLE 20 ZONING ORDINANCE
CITY OF MISSOULA ENGINEERING GUIDELINES

Zoning Information

THIS PROJECT IS A TENANT IMPROVEMENT FOR OFFICE USE IN EXISTING HISTORIC BUILDING. NO SITE WORK REQUIRED.

Project Location & Vicinity Map



Index of Drawings

- A0.0 COVER SHEET
- A1.1 DEMOLITION FLOOR PLAN
- A2.1 FIRST FLOOR PLAN
- A3.1 REFLECTED CEILING PLAN
- A4.1 DETAILS

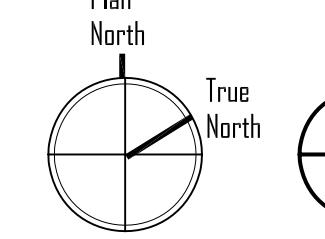
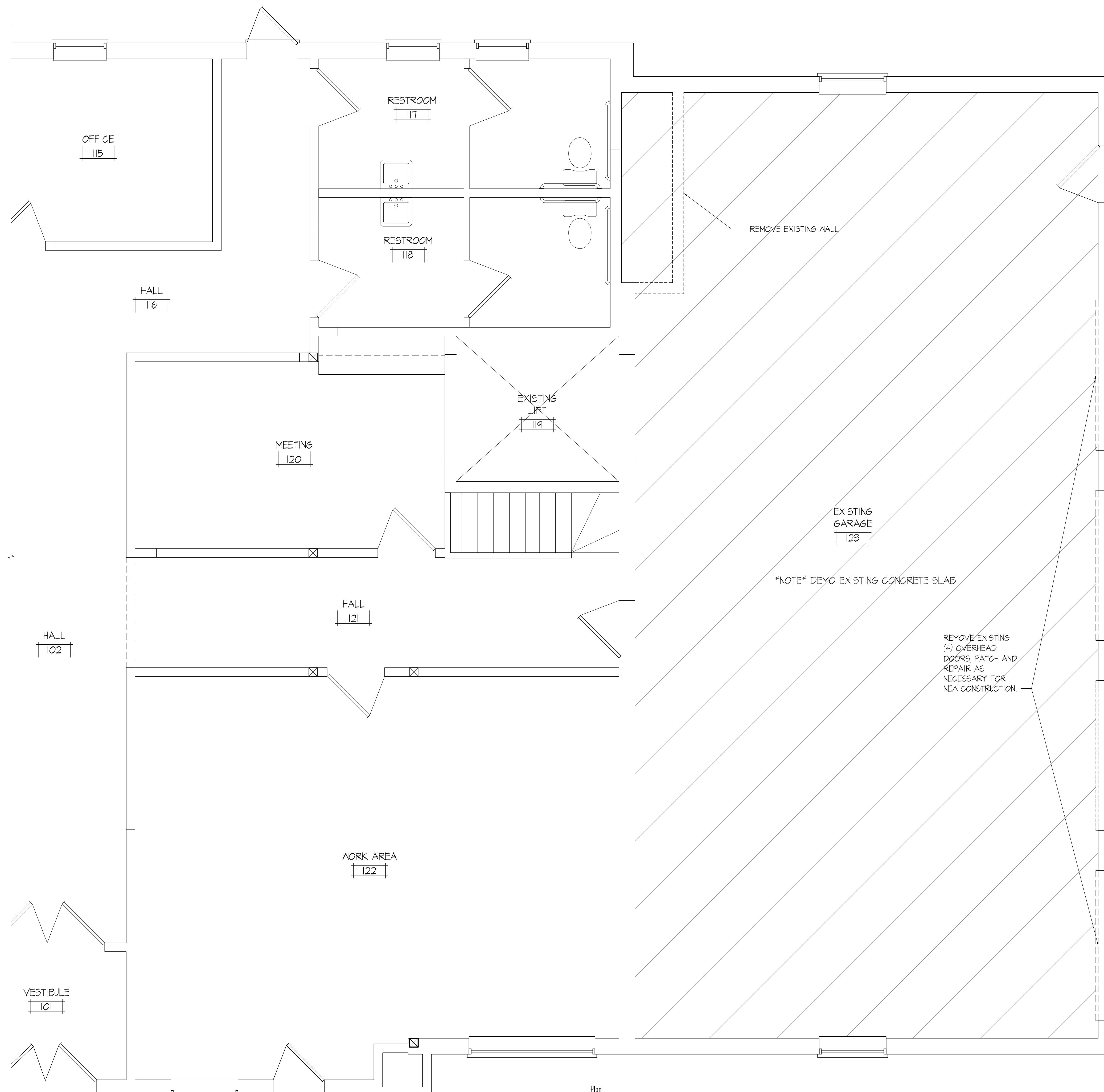
Proposed North Elevation Rendering



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<input type="radio"/>	OTHER	
September 11, 2017		
GHA Project #17-079		
A0.0		

Tenant Improvement Ecogeek, LLC

224 West Spruce Street
Missoula, MT 59802



MAIN LEVEL DEMOLITION PLAN
A1.1

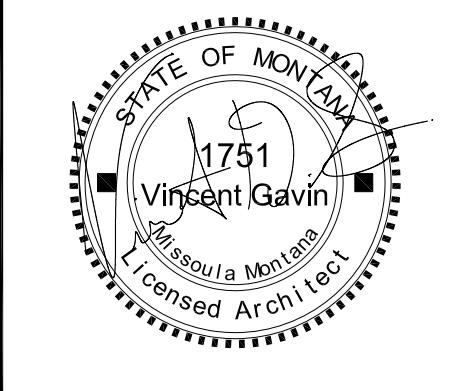
SCALE: 3/8" = 1'-0"

Remodel Legend

- Existing construction to be removed. (or relocated if indicated)
- Existing construction to remain
- △ Existing door to remain

Note

THE CONTRACTOR SHALL BE COGNIZANT THAT THIS IS A REMODELING PROJECT AND AS SUCH, CERTAIN ITEMS CANNOT BE FULLY SHOWN OR EXPLAINED WITHOUT FIELD OBSERVATION AND/OR VERIFICATION. THE CONTRACTOR SHALL VISIT AND EXAMINE THE SITE AND/ OR THE BUILDING IN EVERY DETAIL AS IT PERTAINS TO THE PROJECT AND MAKE ALLOWANCES AS NECESSARY FOR ALL CONDITIONS THAT WILL AFFECT THE WORK AS INDICATED IN THESE DRAWINGS.



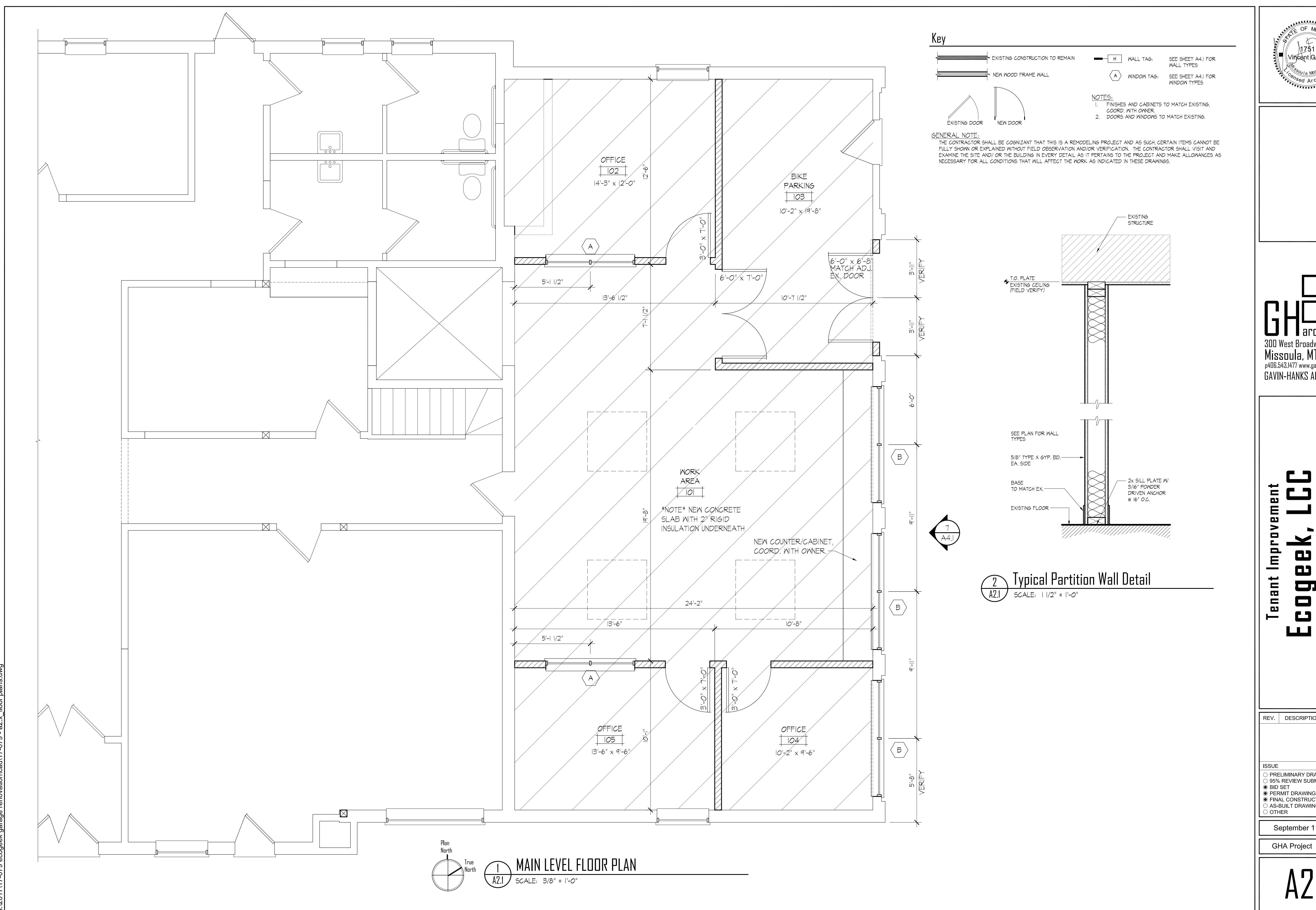
GH architects
300 West Broadway, Suite 4
Missoula, MT 59802
p:406.543.4477 www.gavin-hanks.com
GAVIN-HANKS ARCHITECTS

**Tenant Improvement
Ecogeeek, LLC**

224 West Spruce Street
Missoula, MT 59802

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September 11, 2017		
GHA Project #17-079		

A1.1



EcoGeek, LLC tenant improvement

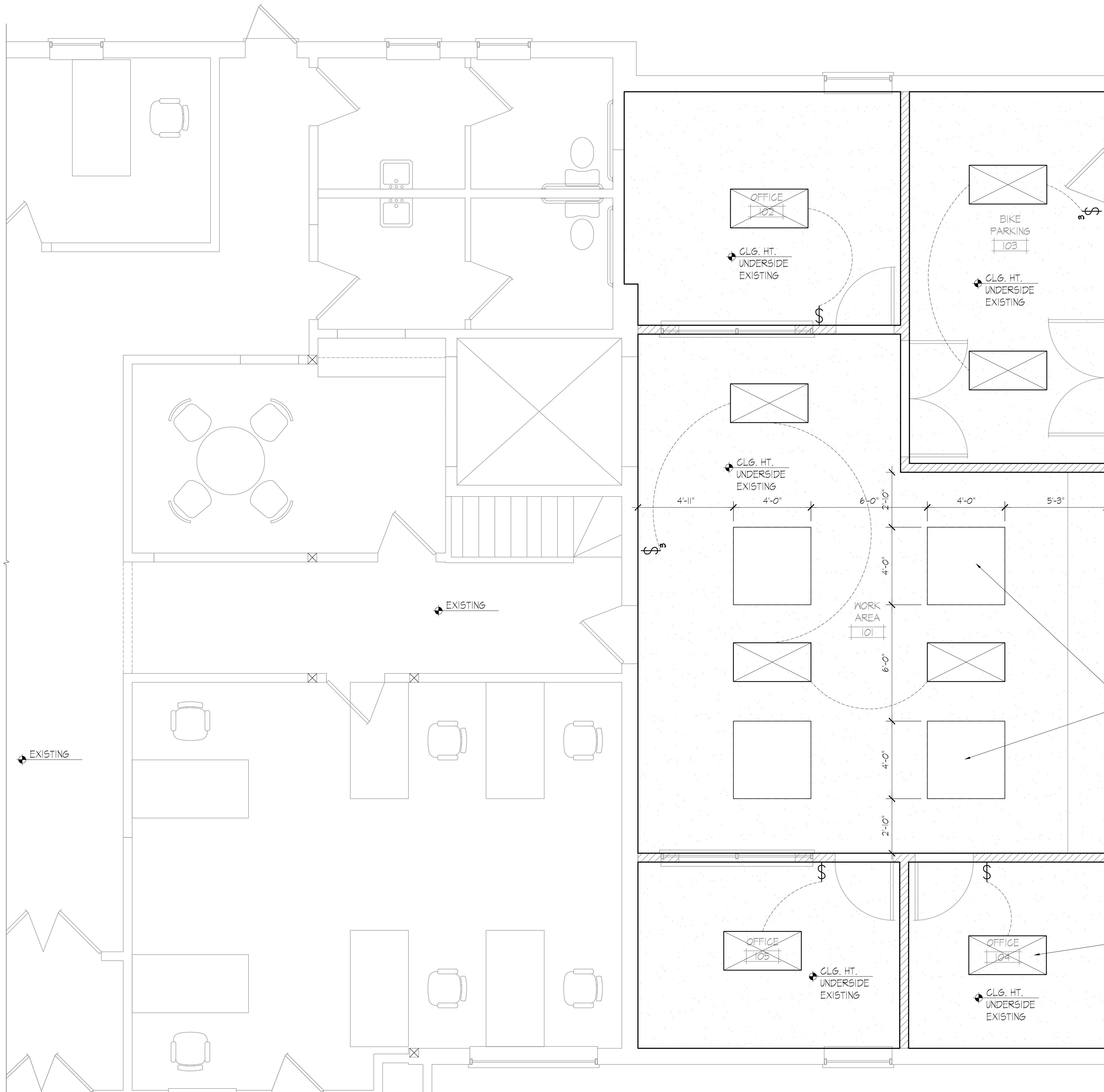
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Missoula, MT 59802

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	REISSUE	

September 11 2017

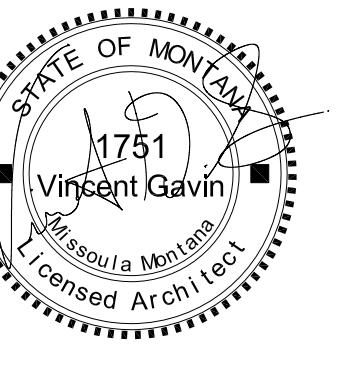
GHA Project #17-079

A2.



Symbols Legend

	GYP. BD. CEILING. SEE 2 A3.1
	CEILING ELEVATION - FIELD VERIFY
	CEILING TRANSITION

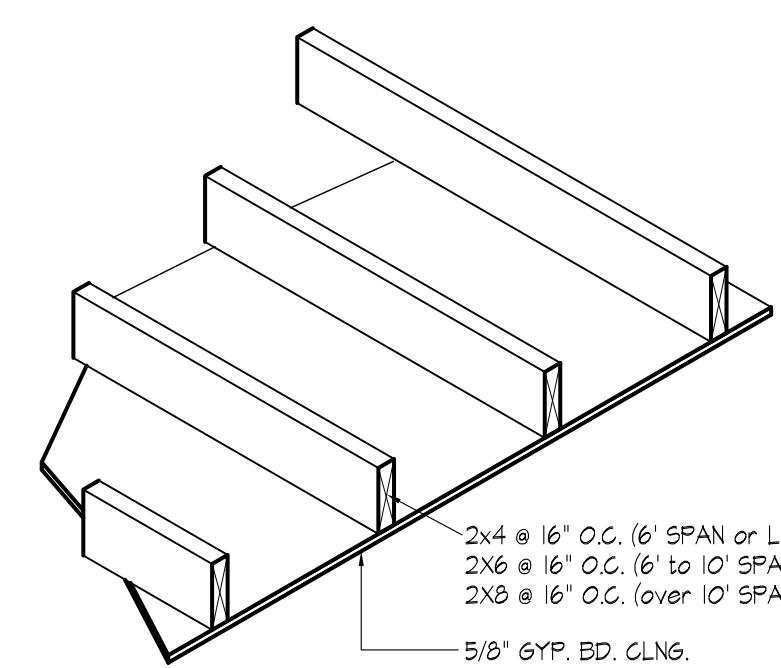


General Note:

- FIELD VERIFY - ALL NEW CEILING HEIGHTS TO BE COORDINATED W/ EXISTING MECHANICAL AND PLUMBING

Schematic Electrical Legend

	ELECTRICAL BOX OR OVERHEAD LIGHT
	PENDANT OR CEILING HUNG FIXTURE
	FLUORESCENT LIGHT
	CEILING MOUNTED LIGHT DISKS



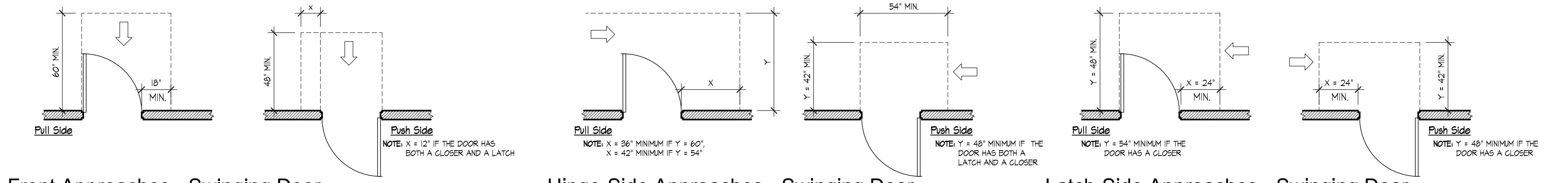
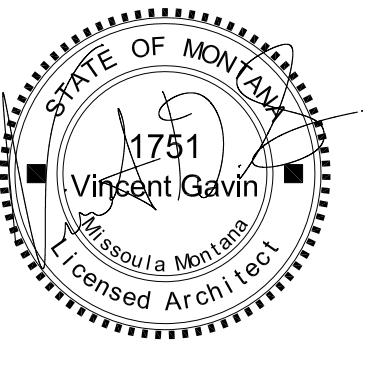
2 A3.1 TYPICAL GWB CEILING DETAIL
SCALE: 3/4" = 1'-0"

Tenant Improvement
Ecogeeek, LCC

224 West Spruce Street
Missoula, MT 59802

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<input type="radio"/>	OTHER	
September 11, 2017		
GHA Project #17-079		

A3.1



Front Approaches - Swinging Door

Hinge-Side Approaches - Swinging Door

Latch-Side Approaches - Swinging Door

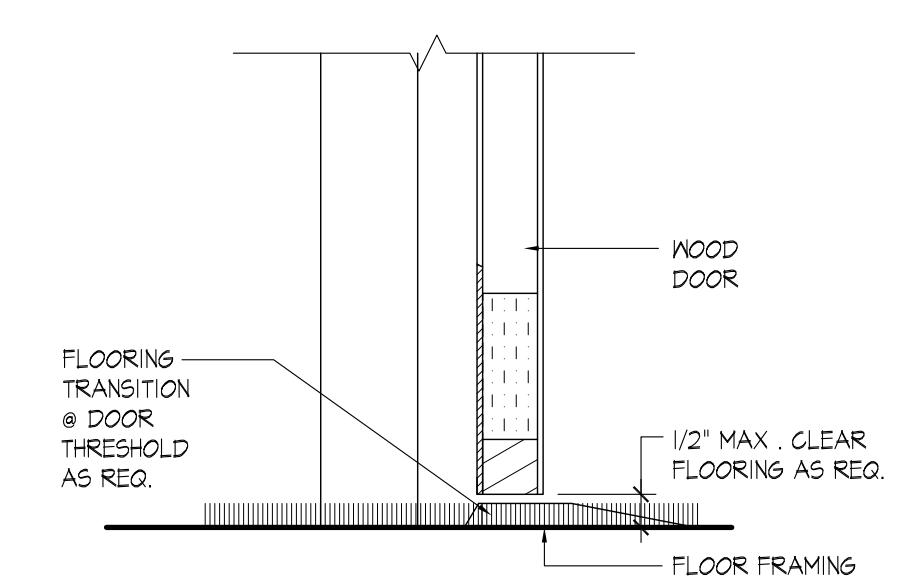
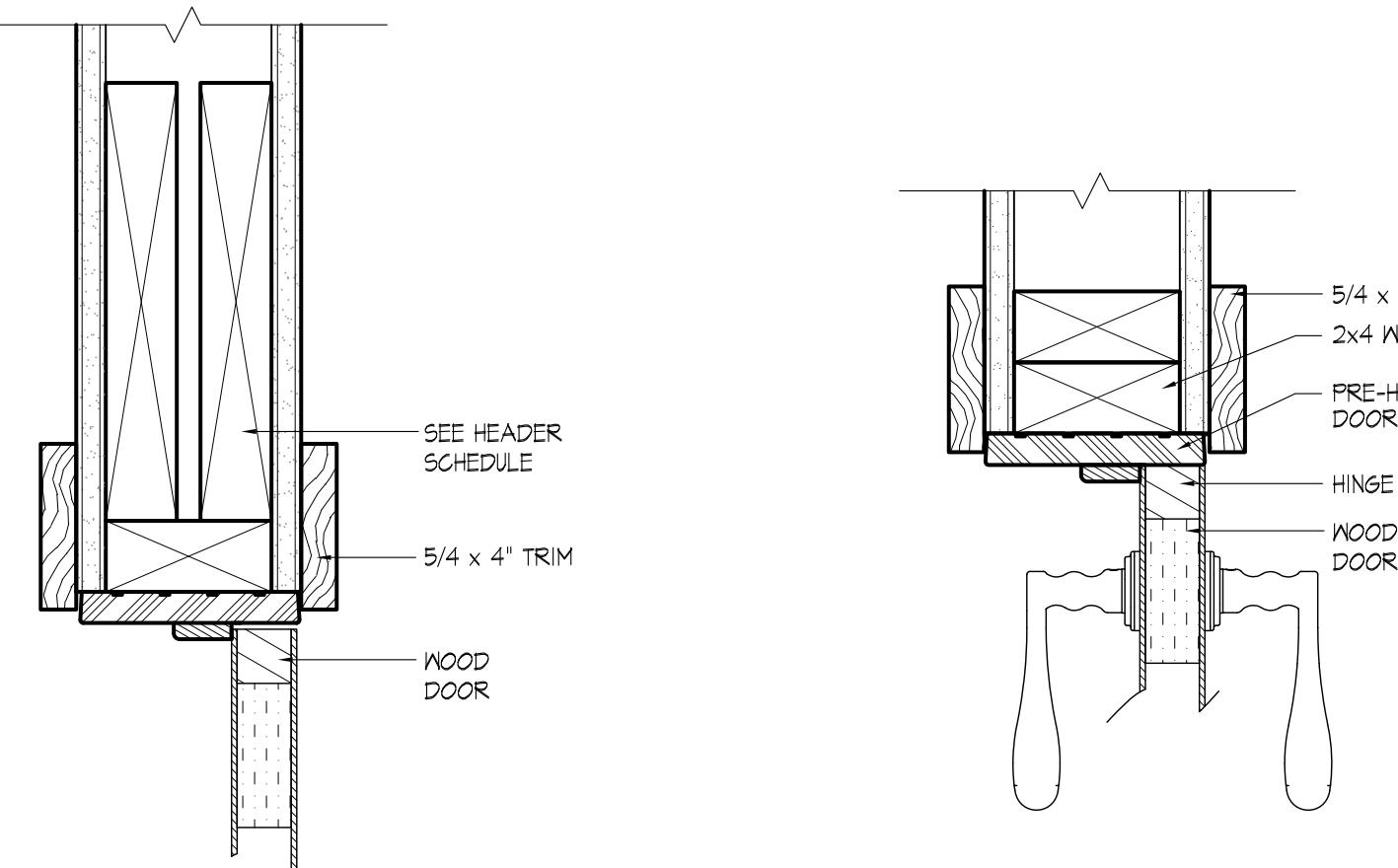
Accessible Fixture Notes:

1. PROVIDE GRAB BARS ON ONE SIDE AND REAR WALL OF EA. ACCESSIBLE WATER CLOSET. MOUNT 33" - 36" ABOVE AND PARALLEL TO FLOOR. PROVIDE SOLID BLOCKING IN WALL TO SECURELY ANCHOR GRAB BARS TO WALL.
2. ALL EXPOSED HOT WATER AND WASTE PIPING TO BE INSULATED.
3. MAINTAIN MIN. CLEAR SPACE SHOWN ON FIXTURE DETAILS, FREE OF ANY OBSTRUCTIONS INCLUDING DRAIN PIPES, ETC.
4. ALL GRAB BARS SHALL BE 1-1/4" - 1-1/2" DIA. WITH A 1-1/2" CLEAR SPACE FROM WALL.
5. ALL PLUMBING FIXTURES SHALL COMPLY WITH GOVERNING CODES INCLUDING A.D.A. AND ANSI.
6. PROVIDE SOLID BLOCKING IN WALL FOR ALL WASHROOM ACCESSORIES.
7. SHOWER STALLS TO BE FLUSH W/FLOORING RECESS SHOWER AS REQUIRED IN CONC. SLAB.
8. ALL SHOWER ACCESSORIES TO BE PROVIDED BY SHOWER MANUFACTURER.

Door Clearance per UFAS Figure 25

A4.1

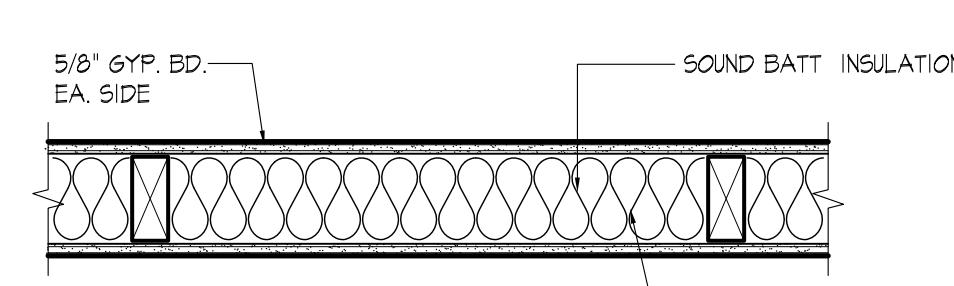
SCALE: 1/4" = 1'-0"



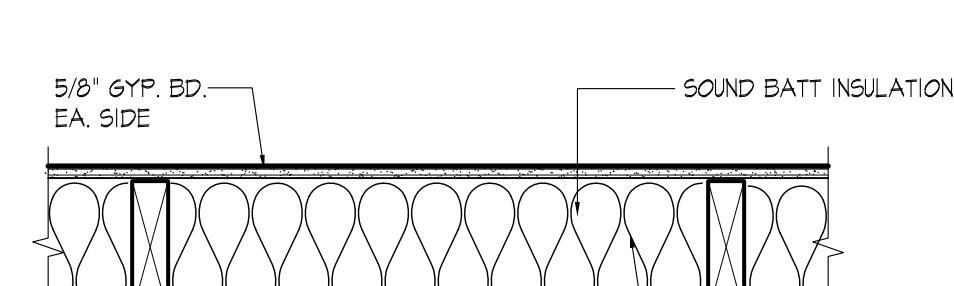
A 2x4 WALL W/ GYP. EACH SIDE



B 2x6 WALL W/ GYP. EACH SIDE



C 2x4 WALL W/ GYP. EACH SIDE & SOUND BATT



D 2x6 WALL W/ GYP. EACH SIDE & SOUND BATT



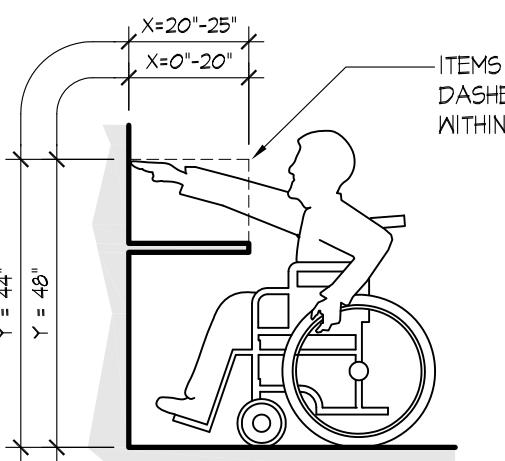
Tenant Improvement Ecogeeek, LLC

224 West Spruce Street
Missoula, MT 59802

2 Interior Door Jamb - Wood

A4.1

SCALE: 1/4" = 1'-0"

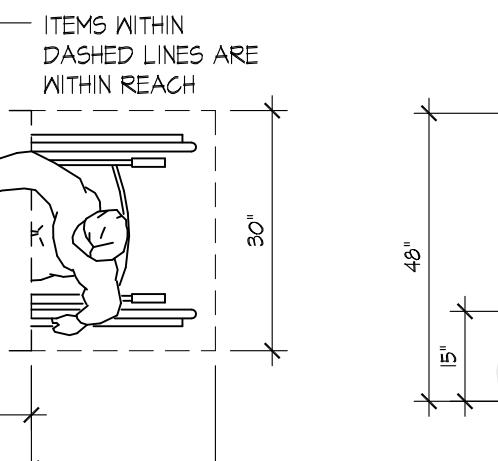


Forward Reach Over an Obstruction

3 Interior Door Jamb - Wood

A4.1

SCALE: 1/4" = 1'-0"

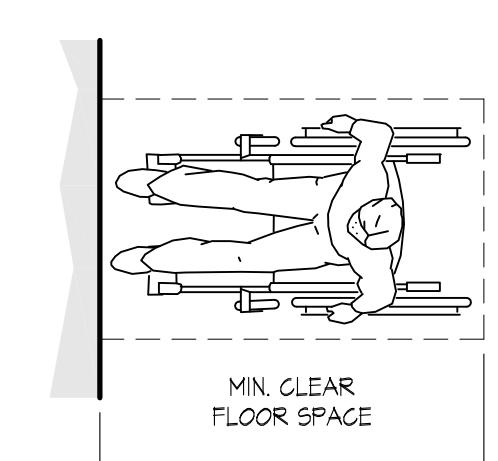


Unobstructed Forward Reach Limit

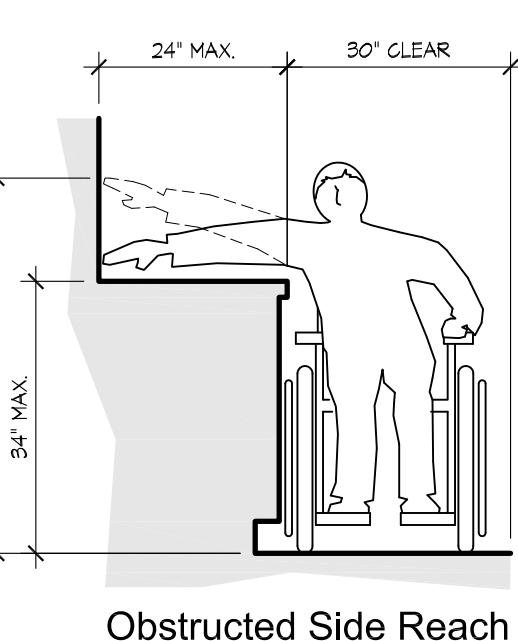
4 Interior Door Sill - Wood

A4.1

SCALE: 1/4" = 1'-0"



Unobstructed Side Reach

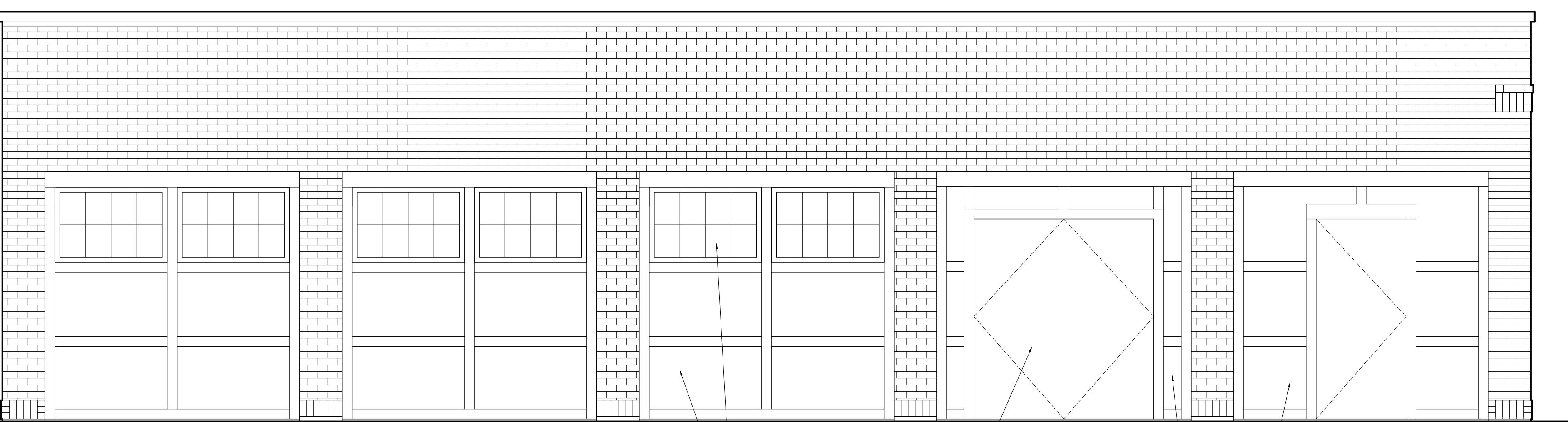


Obstructed Side Reach

5 Accessible Clearances and Reaches

A4.1

SCALE: 1/2" = 1'-0"



7 North Exterior Elevation

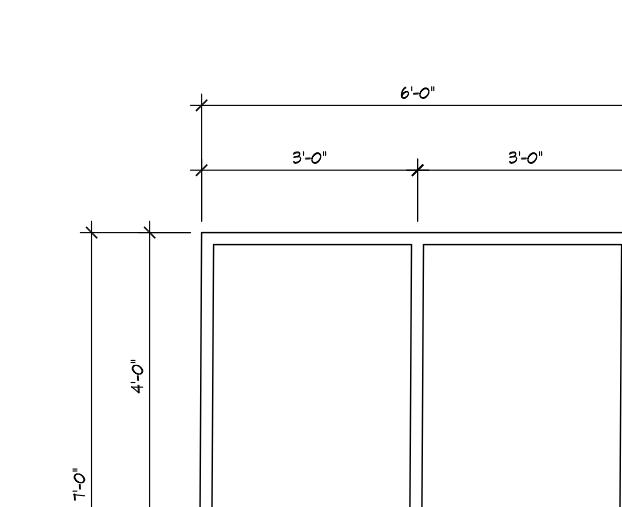
A4.1

SCALE: 3/8" = 1'-0"

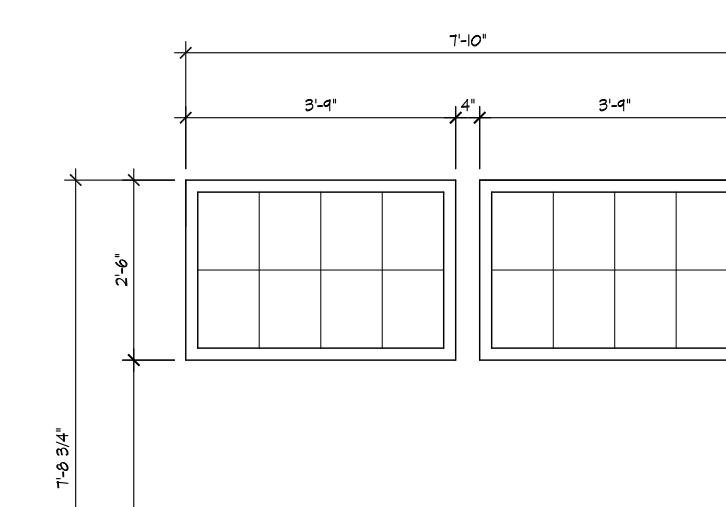
6 Typical Wall Types

A4.1

SCALE: 1 1/2" = 1'-0"



INTERIOR WINDOW A



EXTERIOR WINDOW B

8 Window Types

A4.1

SCALE: 3/8" = 1'-0"

REV.	DESCRIPTION	DATE
ISSUE		
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		September 11, 2017
		GHA Project #17-079

A4.1

APPENDIX C

THE MARSH & POWELL FUNERAL HOME NATIONAL REGISTER NOMINATION

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Registration Form

MAR 1 9 1990

NATIONAL
REGISTER

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

1. Name of Property

historic name Marsh and Powell Funeral Home

other names/site number Livingston-Maletta and Geraghty Funeral Home

2. Location

street & number 224 West Spruce Street n/a not for publication

city, town Missoula n/a vicinity

state Montana code 030 county Missoula code 063 zip code 59802

3. Classification

Ownership of Property	Category of Property	Number of Resources within Property	
		Contributing	Noncontributing
<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	1	buildings
<input type="checkbox"/> public-local	<input type="checkbox"/> district	_____	sites
<input type="checkbox"/> public-State	<input type="checkbox"/> site	_____	structures
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure	_____	objects
	<input type="checkbox"/> object	1	Total

Name of related multiple property listing:

Historical Resources in Missoula, 1864-1940

Number of contributing resources previously
listed in the National Register 0

4. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this
 nomination request for determination of eligibility meets the documentation standards for registering properties in the
 National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.
 In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.

Signature of certifying official

Date

State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.

Signature of commenting or other official

Date

State or Federal agency and bureau

5. National Park Service Certification

I, hereby, certify that this property is:

 entered in the National Register.Entered in the
National Register See continuation sheet. determined eligible for the National
Register. See continuation sheet.

4/30/90

 determined not eligible for the
National Register. removed from the National Register. other, (explain): _____

Signature of the Keeper

Date of Action

6. Function or Use

Historic Functions (enter categories from instructions)
Funeral Home

Current Functions (enter categories from instructions)
Funeral Home

7. Description

Architectural Classification
(enter categories from instructions)

Neoclassical

Materials (enter categories from instructions)

foundation concrete
walls brick

roof asphalt
other wood

Describe present and historic physical appearance.

The Marsh and Powell Funeral Home is a rectangular, two-story, polychromatic brick commercial building with a two-story Neoclassical style pavilion and quoined corners. The building is located in the Missoula central business district on a half block that contains a number of historic one-story residences, some of which have been converted to business use. The building has a sheet metal crown cornice over a six-tiered polychrome header and stretcher belt course and a single header belt course. Front upstairs windows have polychrome flat arches with centered keystones and header sills. Windows are wood frame, double-hung, six-over-one and three-over-one.

The first floor has three wood frame, three-part "cottage" windows, each composed of a large, fixed, wood frame pane topped by a pair of fixed, three-light units. Each window has a flat polychrome arch and centered keystone. The main entryway is wood frame with an anodized metal, modern glass door with upper transom and narrow, flanking glass block panels. Each side door to the building is accessed by concrete steps with wrought iron railings. Vertical polychrome headers run along the base of the building. The monumental wood, two-story pavilion has a pedimented gable roof with a molded crown cornice with dentilation and horizontal, lapped siding in tympanum. Dentilation is also located at the top of the architrave. The upstairs balcony railing within the pavilion is wrought iron. The large Doric order support columns rest on square concrete plinths. A large, metal frame, plastic sign reading "Livingston-Malletta and Geraghty" is located on the second floor of the pavilion. The west side windows to the main building are wood frame, double-hung, one-over-one units.

The rear section of the building is also of polychromatic brick with a flat roof and metal cornice over halved polychrome headers. A raised belt course of header brick over vertical stretchers is located on the west side of the building. A centered entryway is recessed and framed by polychrome quoins and has a multipane wood door. A gable-roofed door-over or hood with side brackets is located above the side entryway. The windows are wood frame, double-hung, one-over-one, opaque with wood frame storm windows. The east side of the rear of the addition has a large, porte-cochere consisting of three, square, brick

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support posts. The porte-cochere shelters two wood frame entryways with multi-light, wooden doors. The rear of the back section has double wooden garage doors with recessed wood panels in the bottom two-thirds of the door and six lights in the upper one-third. The double doors are separated from one another by brick columns. The doors have exterior, side-mounted black hinges and black door handles.

Conifer shrubs are located on the sides of the building. A large parking area is located on the north and east sides of the building.

The building possesses excellent integrity of setting, design, materials, workmanship and association. It exhibits no evidence of exterior alterations. It also possesses generally good integrity of setting, being located in a half block of one-story historic residences.

8. Statement of Significance

Certifying official has considered the significance of this property in relation to other properties:

nationally statewide locally

Applicable National Register Criteria A B C D

Criteria Considerations (Exceptions) A B C D E F G

Areas of Significance (enter categories from instructions)

Architecture

Period of Significance

1930-1940

Significant Dates

1930

Commerce

Cultural Affiliation

n/a

Significant Person

n/a

Architect/Builder

Not known

State significance of property, and justify criteria, criteria considerations, and areas and periods of significance noted above.

The building is eligible for listing on the National Register of Historic Places under criteria A and C. It was constructed as a funeral home, a new phenomenon during the early twentieth century, which provided complete funeral services. It also is an excellent example of commercial architecture combining elements of Neoclassical design and period commercial architecture using high-fired brick, squared, flattened corners, flattened arches, and polychroming. The building is in excellent condition and carries a strong sense of association with the period in which it was constructed. It is one of the best examples of late 1920s and early 1930s commercial architecture in the Missoula commercial district.

This building was constructed between 1929 and 1932 as a funeral home, when the property was owned by Luther and D. H. Powell. The first occupant was Marsh and Powell, Funeral Directors, which occupied the building through the historic period. The building has been a funeral home since it was constructed. At the time of its construction, it represented a new phenomenon--a building constructed as a funeral home with all the services and facilities needed to prepare the body for the funeral and to perform the funeral services. It is one of the few remaining commercial buildings within the Missoula central business district that was constructed during the Depression.

9. Major Bibliographical References

McDonald, James, and Gary Williams, Missoula Historical Resource Survey. Missoula: Porky Press, 1980.

Morris, Neil, Funeral Director, Livingston-Malleta and Geraghty Funeral Home. Personal Communication, April 28, 1989.

Previous documentation on file (NPS):

preliminary determination of individual listing (36 CFR 67) has been requested
 previously listed in the National Register
 previously determined eligible by the National Register
 designated a National Historic Landmark
 recorded by Historic American Buildings Survey # _____
 recorded by Historic American Engineering Record # _____

See continuation sheet

Primary location of additional data:

State historic preservation office
 Other State agency
 Federal agency
 Local government
 University
 Other

Specify repository:

10. Geographical Data

Acreage of property less than one acre

UTM References

A	1	2	2	7	1	8	3	0	5	1	9	5	4	3	0
Zone			Easting			Northing									

B															
Zone															

C															
Zone															

D															
Zone															

See continuation sheet

Verbal Boundary Description

C.P. Higgins Addition, Block 9, Lots 11-12, W 1/2 Lot 13.

See continuation sheet

Boundary Justification

The boundary includes the city lots upon which the historic building was erected.

See continuation sheet

11. Form Prepared By

name/title William A. Babcock, Jr., Missoula Historic Preservation Officer

organization City of Missoula

street & number 201 West Spruce St.

city or town Missoula

date August 1989

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